

Retaining Walls Information Sheet

What are Retaining walls?

A retaining wall is a wall or structure that is designed and constructed to support soil at a slope that cannot naturally be supported.

When are retaining walls required?

A retaining wall may be required where any changes in the natural ground levels are proposed.

Do retaining walls require Development Approval (Planning Approval)?

Development approval is not required for retaining walls and/or site works if it complies with the following height and setback requirements:

Height of site works and/ or retaining walls	Required minimum setback
0.5m or less	0m
1m	1m
1.5m	1.5m
2m	2m
2.5m	2.5m
3m	3m

Site works and retaining walls are assessed against the Residential Design Codes – Volume 1 (R-Codes) Clause 5.3.7 Site Works, as summarised above.

Can I build my retaining walls on the boundary?

Yes, where the retaining wall is not more than 0.5m above natural ground level. However, all the footings and associated works must be contained within the lot boundaries and are not permitted to extend over the lot boundary. In all other instances where the retaining or fill exceeds 0.5m above natural ground level on the boundary, a development application will be required.

Do I need my neighbour's approval?

Neighbour's approval is not required to lodge a development application (planning approval).

If you have a strata-titled lot you may require a separate approval under the Strata-Titles Act. Please contact Landgate on 9273 7373 for further information in regards to Strata Titles

How long does the development application process take?

The City has 60 days in which to determine the application as stipulated in the *Planning and Development (Local Planning Scheme) Regulations 2015*. However, applications such as retaining walls normally have a faster turnaround time.

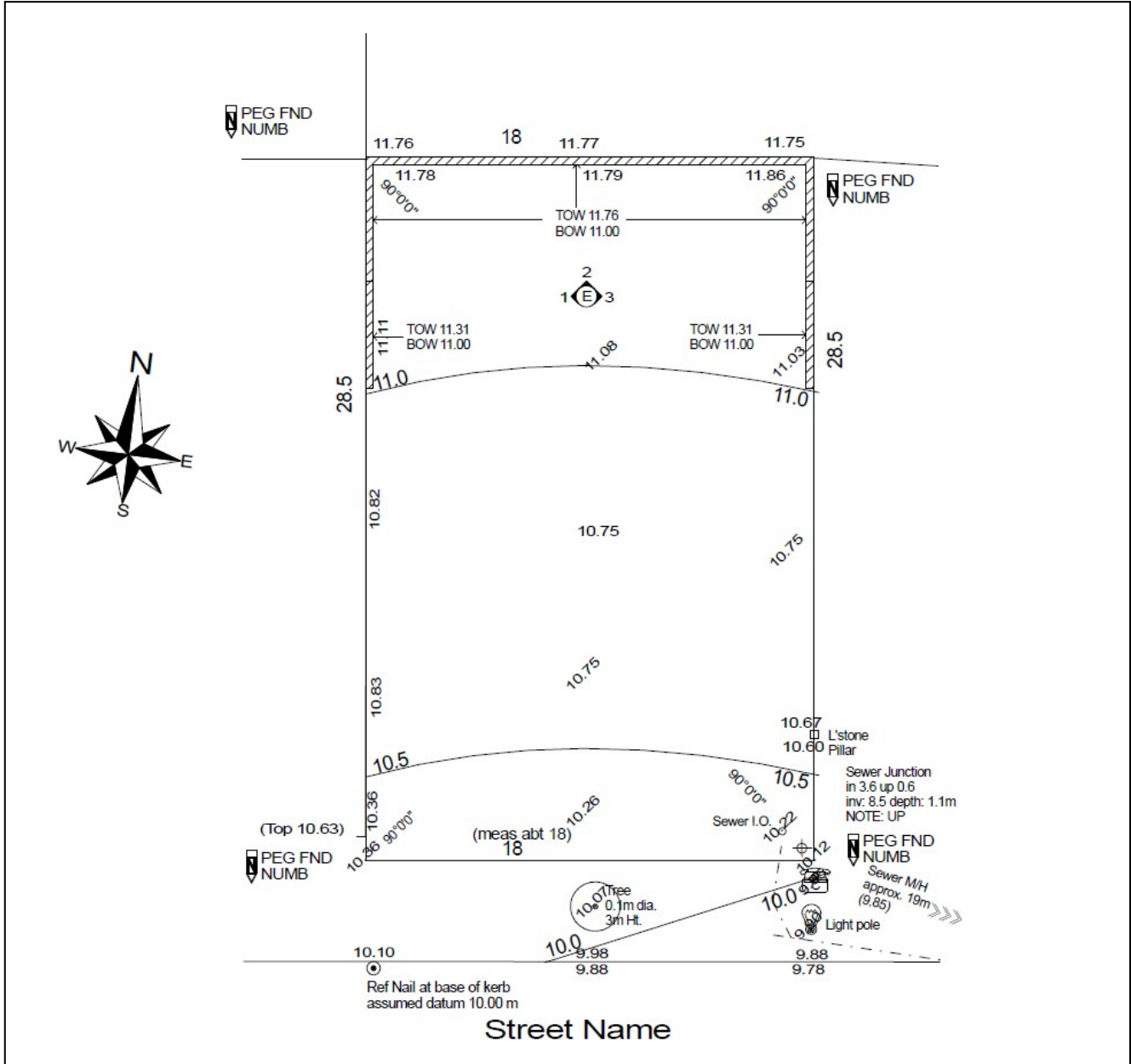
Do I need a Building Permit from the City to construct retaining walls?

A Building Permit is required to be obtained from the City of Stirling where any retaining exceeds 0.5m in height.

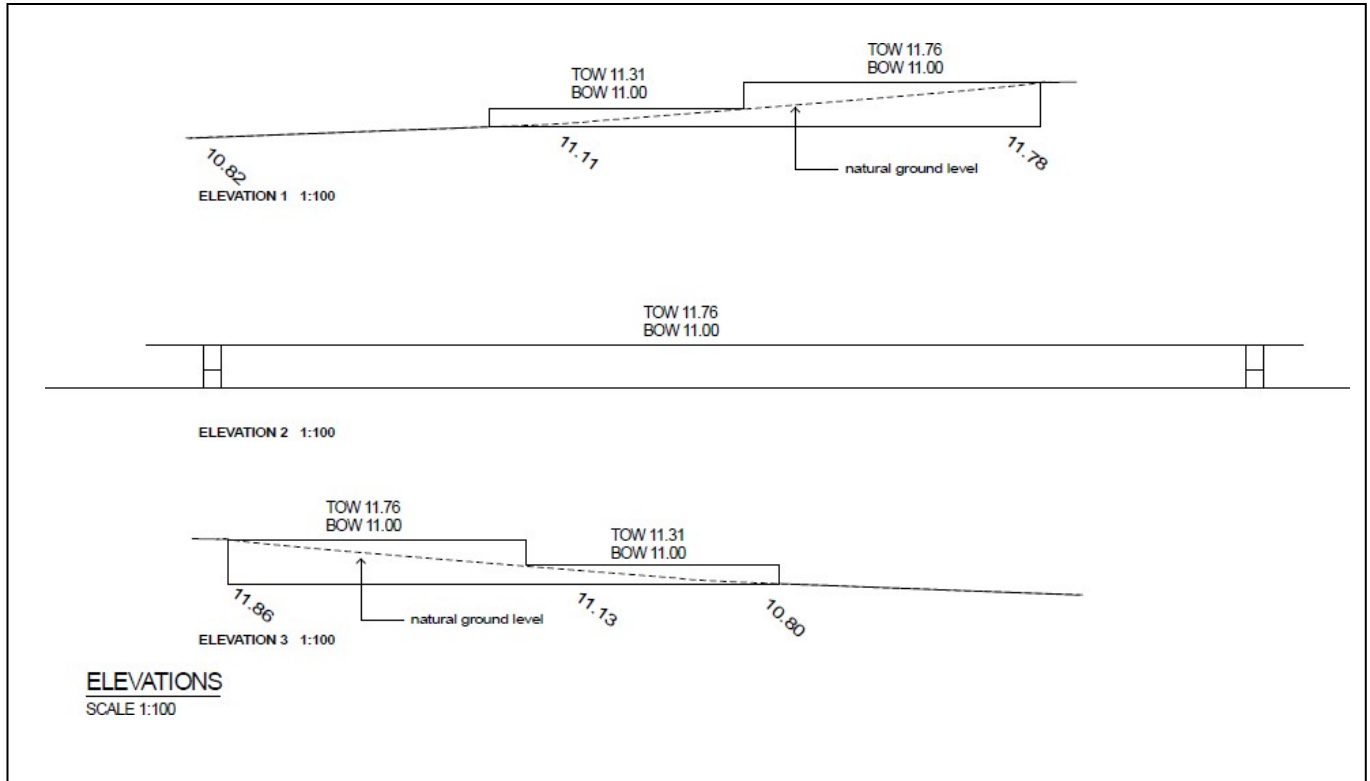
What information is required for a Development Application?

- 1) Completed Planning Application Form
 - a) Signed by each owner of the property.
- 2) Planning Application Fee.
 - a) Please refer to the fee schedule to determine the relevant fee.
- 3) Certificate of Title (within 6 months).
- 4) Clean site feature survey endorsed by a Licensed Land Surveyor in AHD.
- 5) Site Plan – one copy – Scale 1:200 showing:
 - a) North Point
 - b) Cadastral boundaries
 - c) Existing dwelling and other structures
 - d) Location of the proposed retaining walls in relation to the lot boundaries
 - e) Any changes to the existing ground level / floor level
Refer to the example at the end of this document.
- 6) Elevation Plans – one copy – Scale 1:100 showing:
 - a) Front, side and rear elevations showing height, natural ground levels, finished floor levels and top and bottom of retaining wall measurements.
Refer to the example at the end of this document.
- 7) Additional Information (where applicable)
 - a) Written justification for variations to Deemed-to-Comply requirements of the R-Codes.

Site Plan:



Elevations:



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Disclaimer:

This information is produced by the City of Stirling in good faith and the City accepts no responsibility for any ramifications or repercussions for providing this information. Verification with the original Local Laws, Planning Scheme and other relevant documents is recommended for detailed references.